

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City’s Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner’s Name	
Property Owner’s Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	[] <u>Warranty Deed</u> or [] <u>Tax Record</u>

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent’s Name	
Applicant / Agent’s Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Letter of Consent Submitted	

Development / Project Name		
Development / Project Address	<u>Existing:</u>	<u>New:</u>
Legal Description		
Tax ID Folio Numbers (For all parcels in development)		
Request / Description of Project		
Total Estimated Cost of Project	\$	(Including land costs)

NOTE: Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

Estimated Park Impact Fee	\$	Fee Calculator: http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm
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Current Land Use Designation	
Proposed Land Use Designation	
Current Zoning Designation	
Proposed Zoning Designation	
Current Use of Property	
Number of Residential Units	
Non-Residential SF (and Type)	
Total Bldg. SF (include structured parking)	
Site Adjacent to Waterway	[] Yes [] No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)		
Lot Density		
Lot Width		
Building Height (Feet / Levels)		
Structure Length		
Floor Area Ratio		
Lot Coverage		
Open Space		
Landscape Area		
Parking Spaces		

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [____]		
Side [____]		
Side [____]		
Rear [____]		



JUSTICE BUILDING

524 SOUTH ANDREWS AVENUE

LIST OF DRAWINGS

G-001	COVER SHEET	A-201	EXTERIOR ELEVATIONS
-	SURVEY	A-202	EXTERIOR ELEVATIONS
-	PLAT	A-301	STREET SECTION
G-002	AERIAL	A-401	SITE PHOTOMETRICS
G-003	LAND USE & ZONING	A-501	SIGN DETAILS
A-100	CONTEXT PLAN	A-901	PERSPECTIVES
A-101	SITE PLAN	A-902	PERSPECTIVES
A-102	SHADOW STUDY	A-903	SITE PHOTOS
A-111	GROUND FLOOR PLAN	L-300	TREE DISPOSITION PLAN
A-141	ROOF PLAN	L-400	LANDSCAPE PLANTING PLAN

DESIGNED	DRAWN	CHECKED
BL	BL	JF

REVISIONS

DATE:	COMM:
07/17/15	15027

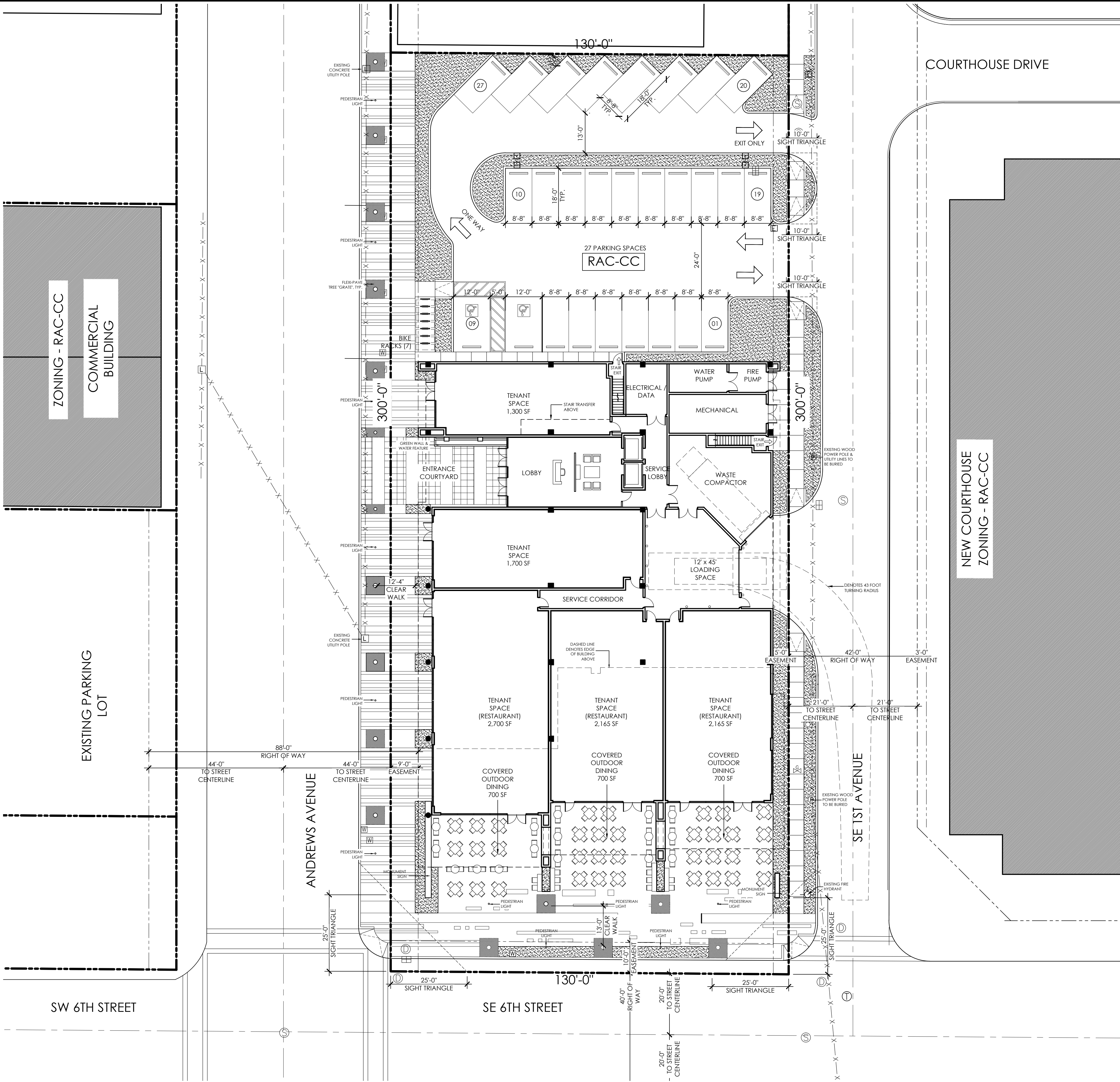
JUSTICE BUILDING

524 SOUTH ANDREWS AVENUE
FORT LAUDERDALE, FL 33316

COVER SHEET
DRC SUBMITTAL
SCHEMATIC PHASE

G-001

PRINTED ON: 07.16.15



SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN DATA

A. LAND USE DESIGNATION	DOWNTOWN REGIONAL ACTIVITY CENTER		
B. ZONING DESIGNATION	REGIONAL ACTIVITY CENTER - CITY CENTER		
C. WATER/WASTEWATER SERVICE PROVIDED BY	CITY OF FORT LAUDERDALE		
D. SITE AREA	39,000 SQ FT (.89 ACRES)		
E. BUILDING FOOTPRINT COVERAGE	15,360 SQUARE FEET 39% SITE COVERAGE		
BUILDING DIMENSIONS (1ST FLOOR PLATE)		165'-0" X 118'-2"	
F. NON-RESIDENTIAL DEVELOPMENT			
GROUND FLOOR - COMMERCIAL USE			
RESTAURANT / RETAIL USE	10,030 SQ FT		
LOBBY	900 SQ FT		
GROUND FLOOR TOTAL	15,360 SQ FT		
LEVEL 02 - COMMERCIAL (LEASABLE)	10,250 SQ FT		
LEVEL 02 TOTAL	12,760 SQ FT		
LEVELS 03 - 07 COMMERCIAL (LEASABLE)	10,400 SQ FT(5 FLOORS)	= 52,000 SQ FT	
LEVELS 03 - 07 TOTAL	63,800 SQ FT		
GRAND TOTAL		91,920 SQ FT	
G. PARKING DATA			
TOTAL REQUIRED PARKING SPACES	0 TOTAL SPACES REQUIRED		
TOTAL PROVIDED PARKING SPACES (EXISTING)	75 TOTAL SPACES PROVIDED		
TOTAL PROVIDED PARKING SPACES (PROPOSED)	35 TOTAL SPACES PROVIDED		
H. F.A.R., (90,360 SF / 39,000 SF)	2.3		
I. BUILDING HEIGHT	115'-0"		
J. NUMBER OF STORIES	7		
LEVEL			
LEVEL 01 - RESTAURANT / RETAIL	15,360 SQ FT		
LEVEL 02 - COMMERCIAL	12,760 SQ FT		
LEVEL 03 - COMMERCIAL	12,760 SQ FT		
LEVEL 04 - COMMERCIAL	12,760 SQ FT		
LEVEL 05 - COMMERCIAL	12,760 SQ FT		
LEVEL 06 - COMMERCIAL	12,760 SQ FT		
LEVEL 07 - COMMERCIAL	12,760 SQ FT		
TOTAL F.A.R. SQUARE FEET	91,920 SQ FT		
K. SETBACKS (BASED ON RAC-CC ZONING SETBACKS)PER 47-13.20			
SETBACK	REQUIRED	PROVIDED	
FRONT YARD (WEST)	NONE	9'-0"	
SIDE YARD (SOUTH)	NONE	34'-5"	
SIDE YARD (NORTH)	NONE	100'-0"	
REAR SETBACK (EAST)	NONE	2'-10"	
L. OPEN SPACE	0 SF REQUIRED		
M. VEHICULAR USE AREA			
EXISTING NORTH PARKING LOT AREA	9,230 SQ FT		
N. LANDSCAPE AREA			
(VUA X 20%) 9,390 SQ FT x .20 =	1,878 SQ FT (VUA LANDSCAPE) REQUIRED		
	2,305 SQ FT (VUA LANDSCAPE) PROVIDED		
	3,486 SQ FT TOTAL LANDSCAPE AREA PROVIDED		
O. LINEAR FEET OF SIDEWALK	700'-0"		

FIRE PROTECTION

PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA AND THE FLORIDA BUILDING CODE.
PER FBC 903.2.11.3, BUILDING WILL HAVE FIRE SPRINKLERS.

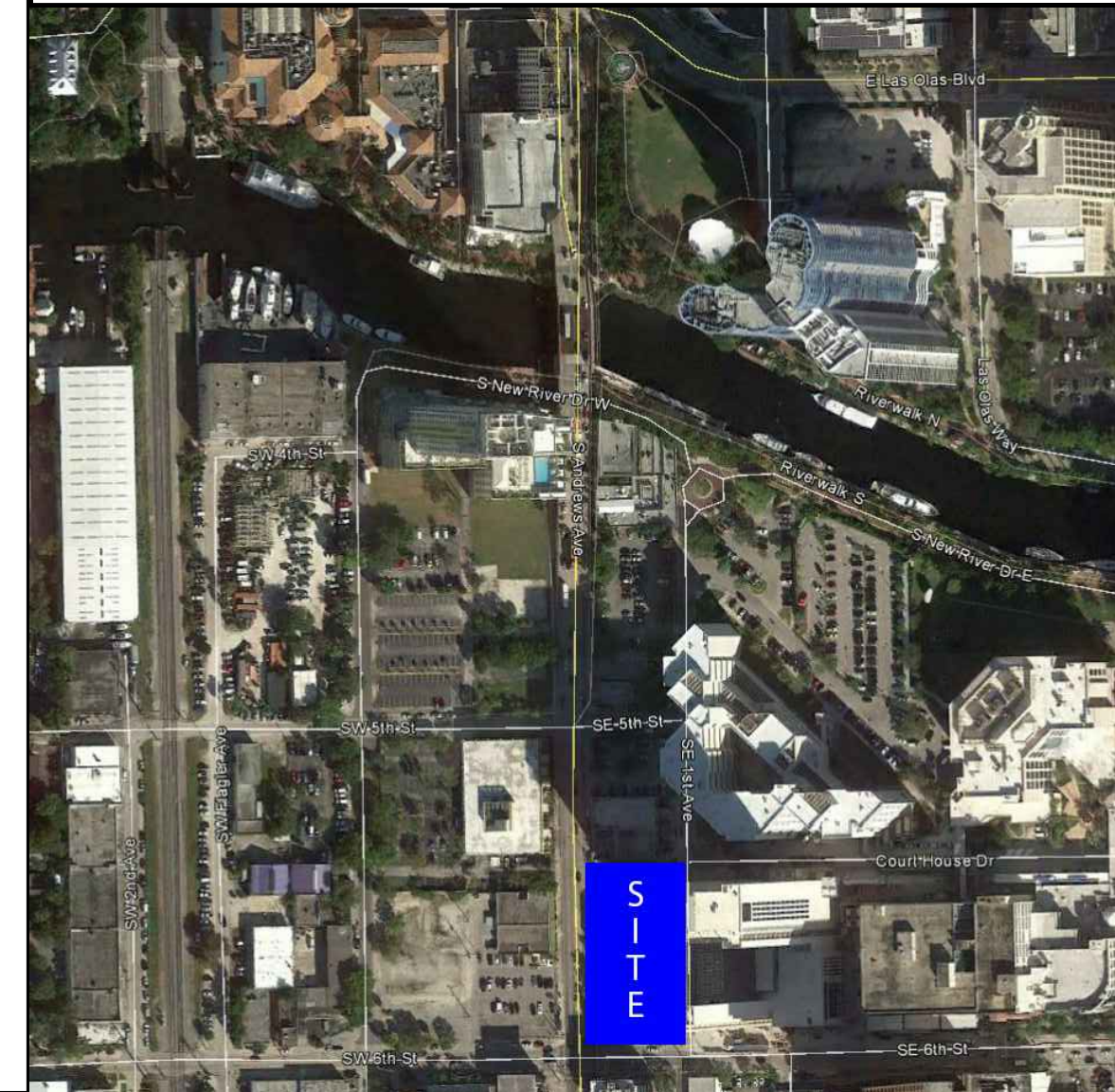
POLICE

ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RATED
STAIRWELLS EGRESS ONLY ON FIRST LEVEL
BUILDING TO BE FITTED WITH INTERCOM/VIDEO ACCESS CONTROL SYSTEM AT ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE AND COMMON AREAS.
ALL FENCING TO BE ACCESS CONTROLLED

LEGAL DESCRIPTION

LOTS 5, 6, 7, 8, 9 AND 10, BLOCK 45, LESS THE WEST 15 FEET THEREOF, TOWN OF FORT LAUDERDALE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE PUBLIC RECORDS FOR MIAMI-DADE COUNTY IN PLAT BOOK B PAGE 40, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

LOCATION MAP



FSTNY
ARCHITECTS • PLANNERS
FALKANGER SNYDER MARTINEAU & YATES

888 SOUTH ANDREWS AVE. SUITE 300
FORT LAUDERDALE, FLORIDA 33316
PH: (954) 764-6575 FAX: (954) 764-8622

JEFF FALKANGER, DOUG SNYDER
LARRY MARTINEAU, JIRO YATES

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CA # AAC000447

DESIGNED	DRAWN	CHECKED
BL	BL	JF

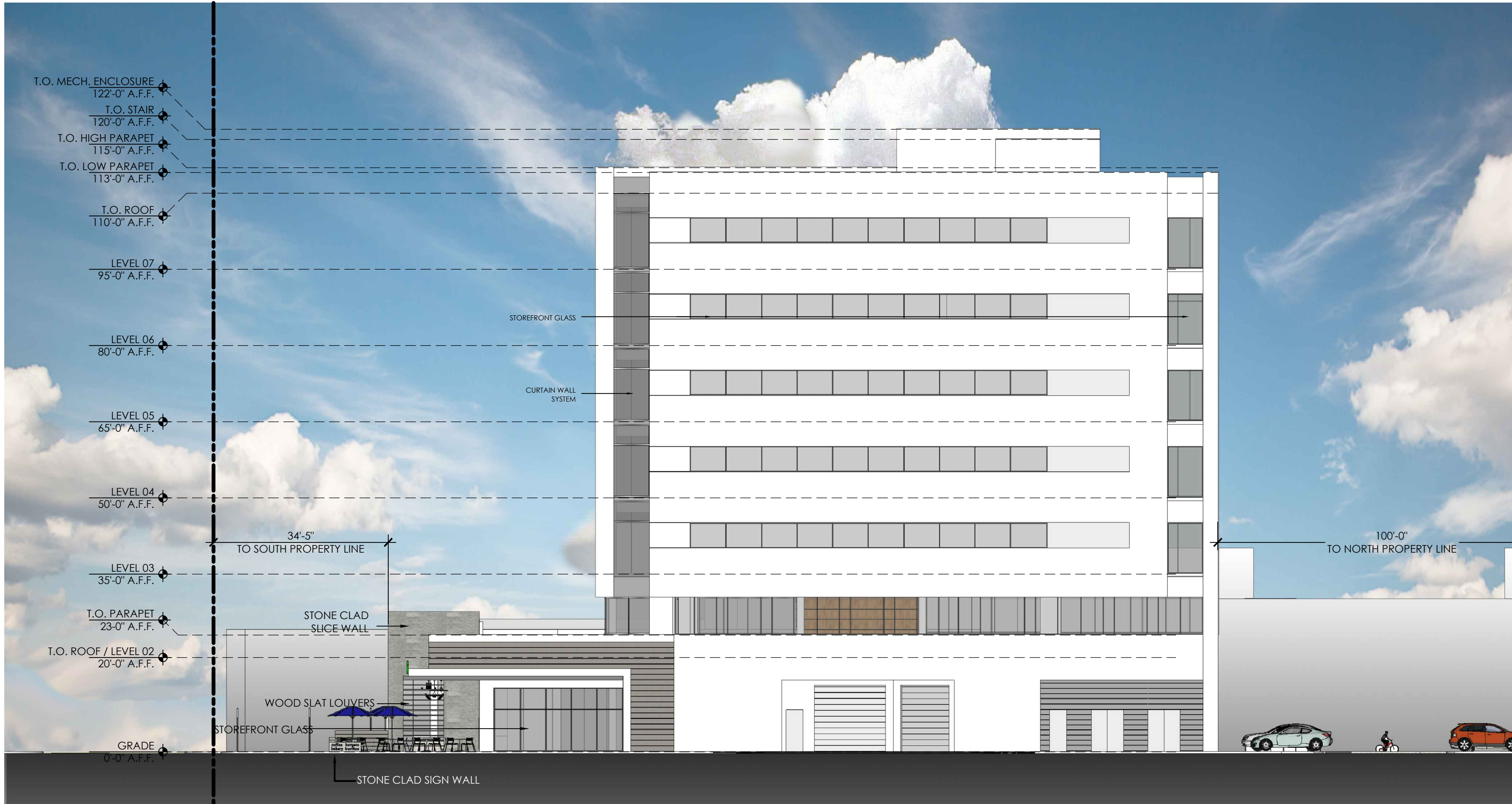
REVISIONS

DATE:	COMM:
02/13/15	15008

JUSTICE BUILDING -
PHASE II
RESTAURANTS

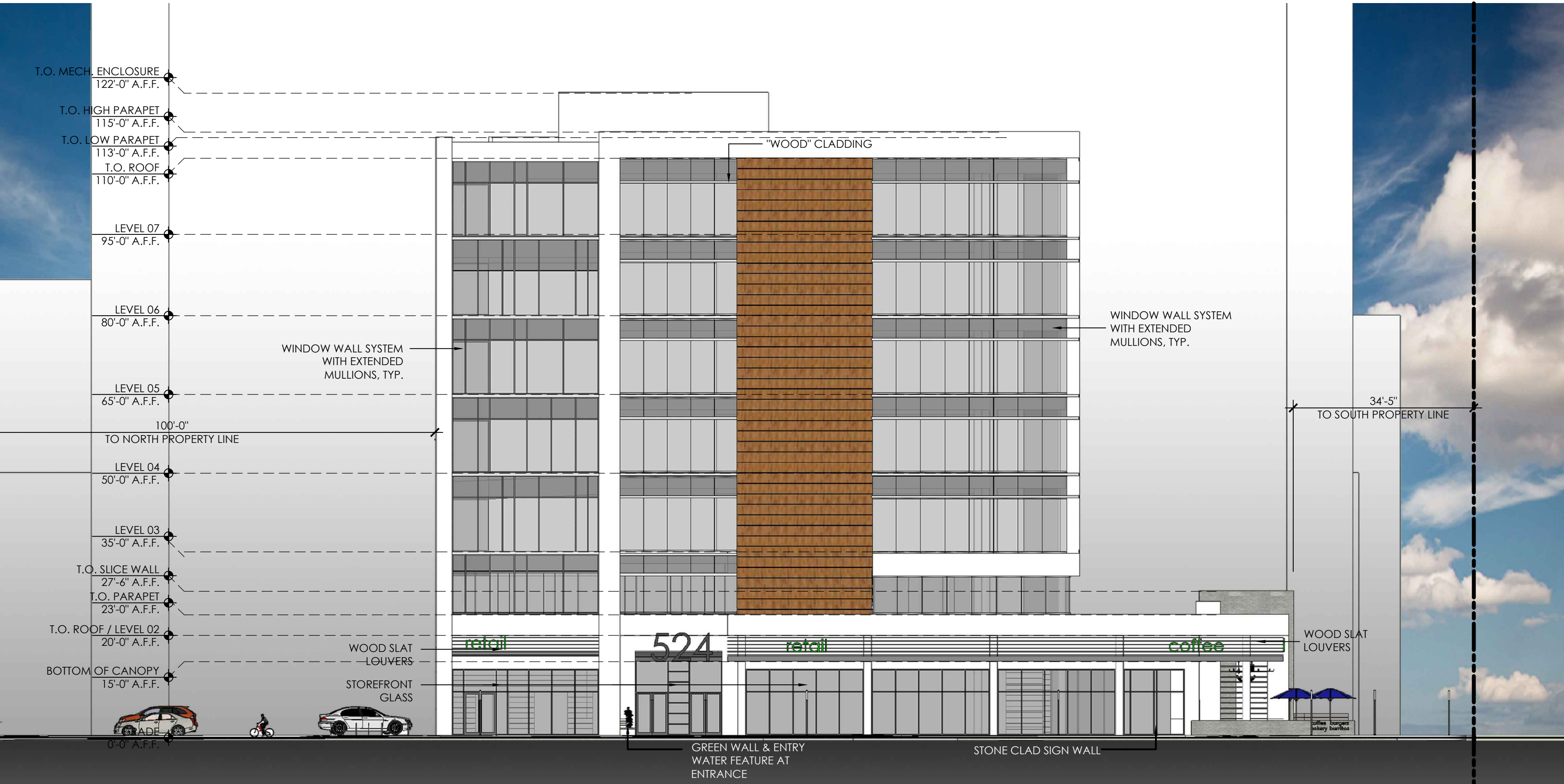
524 SOUTH ANDREWS AVENUE
FORT LAUDERDALE, FL 33316

SITE PLAN
DRG SUBMITTAL



EAST ELEVATION
SCALE: 1/16" = 1'-0"

2
A-201



WEST ELEVATION
SCALE: 1/16" = 1'-0"

1
A-201

REVISIONS

DATE: 07/17/15 COMM: 15027

JUSTICE BUILDING

524 SOUTH ANDREWS AVENUE
FORT LAUDERDALE, FL 33316

EXTERIOR ELEVATIONS
DRC SUBMITTAL
SCHEMATIC PHASE

A-201

PRINTED ON: 07.15.15

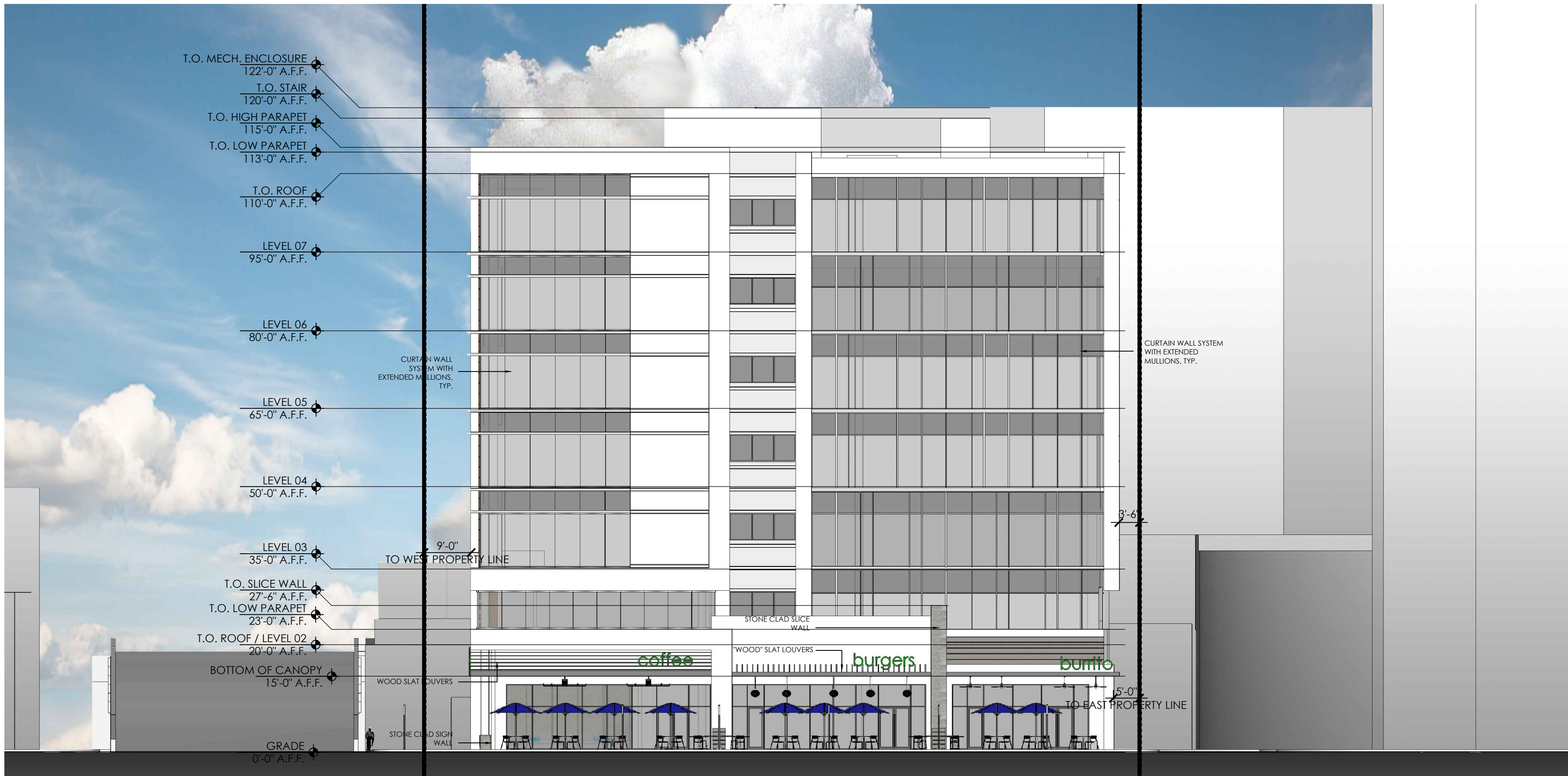
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NORTH ELEVATION

SCALE: 1/16" = 1'-0"

2
A-202



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

1
A-202

REVISIONS

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JUSTICE BUILDING

524 SOUTH ANDREWS AVENUE
FORT LAUDERDALE, FL 33316

EXTERIOR ELEVATIONS
DRC SUBMITTAL
SCHEMATIC PHASE

A-202

PRINTED ON: 07.15.15



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: August 11, 2015

**Project Name: Blackhawk Properties & Investments, LLC /
Justice Building**

Case Number: R15039

**Request: Site Plan Level II Review: 72,000af Office, Retail
and Restaurant Building**

Location: 524 S. Andrews Avenue

Zoning: Regional Activity Center – City Center (RAC-CC)

Land Use: Downtown Regional Activity Center

Project Planner: Florentina Hutt

Case Number:
R15039_Airport

CASE COMMENTS:

Please provide a response to the following:

- 1) A Notice of Proposed Construction or Alteration form (7460-1) must be filed with the FAA and a determination of no hazard to air navigation issued since the proposed building exceeds 76 feet in height. An airspace study number must be assigned to the project before requesting any preliminary sign offs. The FAA must issue a determination of no hazard to air navigation letter prior to requesting final sign off.
- 2) A second Notice of Proposed Construction or Alteration must be filed for the construction crane or equipment that will exceed the height of the building.
- 3) Please refer to the web site listed below for information regarding how to file electronically or hard copy <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> The two notices should be filed with the FAA as soon as possible since it typically takes at least 60 days for the FAA to issue a determination.

Case Number: R15039

CASE COMMENTS:

NONE – Signature NOT required.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15039

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 9' Right-of-Way dedication along east side of S. Andrews Avenue to Broward County, to complete half of 80' Right-of-Way section (per the most current Broward County Road Jurisdiction & Functional Classification Map); show linework in the plans and provide exhibit, as appropriate
- b. 25' corner chord dedication on northeast corner of S. Andrews Avenue & S.E. 6th Street intersection, if required by Broward County
- c. 20' corner chord dedication on northwest corner of S.E. 6th Street & S.E. 1st Avenue intersection
- d. Right-of-Way and/or permanent easement dedication along north side of S.E. 6th Street, to allow sufficient width in order to provide a 7'-wide clear path for pedestrian access; show linework in the plans and provide exhibit, as appropriate

CASE COMMENTS:

A. Please respond to Comments 1 through 23 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or jholguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or ascheffer@fortlauderdale.gov.
 - c. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or aawwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or ehouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHECD) and City Right-of-Way are subject to issuance of a Right-of-Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.

Please coordinate and provide approval from the following agency(ies) for the improvements along:

- a. S. Andrews Avenue – Broward County Highway Engineering & Construction Division (BCHECD)

3. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.
4. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
5. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. (954) 828-6078 or aawwad@fortlauderdale.gov.
6. S.E. 1st Avenue southbound approach to S.E. 6th Street – Sight triangle should be located 25' from the intersection point of the extended property lines at a street and a street (per ULDR Section 47-2.2.Q.3); verify property line location on north side of S.E. 6th Street, which should typically be located beyond the roadway pavement.
7. Please note that per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
8. The proposed parking stall configuration shall conform to the ULDR Section 47-20.11 design criteria; in addition to the typical drive aisle and parking stall dimensions, please label the proposed parking stall angles.
9. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for all driveway ingress to and egress from the site - a minimum of 12' wide by 22' long area for each vehicle to be accommodated within the stacking area.
10. Discuss conveyance of on-site drainage (including roof drains) for the proposed improvements, since it shall not be connected to the adjacent public storm drain system; per ULDR Section 47-25.2.B, adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2½) inches of runoff from the percent impervious surface area, whichever is greater.
11. Verify with Broward County Highway Engineering & Construction Division (BCHECD), their requirements for milling and asphalt pavement restoration in the vicinity of proposed road cuts for utilities and/or curb cuts within County Right-of-Way jurisdiction.
12. Please be advised that in the City's Right-of-Way, within 50' of any road cuts for utilities and/or curb cuts, the existing pavement shall be restored to full lane width, per City Code of Ordinances Section 25-108. For this project, milling and asphalt surface course replacement will be required for the entire length of S.E. 6th Street fronting the proposed development, for the north half of the roadway width (S.E. 6th Street centerline to curb & gutter lip).
13. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
14. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit

15. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
16. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
17. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
 - d. Signing and marking plan, including the radii all landscaping and pavement areas.
18. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
19. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
20. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons "and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
21. Show utilities on the lighting and landscaping plans for potential conflict.
22. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
23. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at rjohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 24 through 36 prior to Engineering Permit Approval

24. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
25. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

26. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
27. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
28. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
29. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
- a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29

8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 18. Indicate schedule for street sweeping of periphery of construction site
 19. Indicate if dewatering is proposed.
30. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
31. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
32. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
33. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
34. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a

revocable license agreement with the City along with a “disconnect” that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City’s Right-Of-Way.

35. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City’s Right-of-Way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
36. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.

Case Number: R15039

CASE COMMENTS:

Please provide a response to the following:

1. Missing fire command room for high-rise, must conform to FBC 403.4.5

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. No comment

Please consider the following prior to submittal for Building Permit:

1. Must conform to FBC section 403 for high rise buildings.

Case Number: R15039

CASE COMMENTS:

Please provide a response to the following:

1. Per 47-25.2. B. *Communications network*. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.
2. It is recommended that conduits be installed to facilitate the installation of a BDA system after the buildings are constructed. Space should be reserved for the BDA electronics, UPS power and the rooftop donor antenna. Conduits should be run for the antenna cables per the City Bi-Directional Amplifier Specifications. Antenna cable conduits shall not contain any other wiring.
3. The City has guidance documentation for the installation of a BDA system available from Gary Gray, Assistant Telecommunications Manager. He may be contacted via e-mail at ggray@fortlauderdale.gov or telephone at (954) 828-5762.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Identify if low E windows are planned for this project. Low E windows typically reduce the ability for radio signals to pass through the glass. Their use will increase the probability that the BDA system will be required.
2. Please identify and provide contact information for the contractor chosen to determine if the BDA system will be required.
3. BDA contractor shall provide signal strength calculations showing signal strengths expected within the completed building.

Please consider the following prior to submittal for Building Permit:

1. If it is determined that the BDA system will be required, design plans will be required showing signal strengths both before and after BDA installation and the proposed system design with equipment list. These plans shall be submitted to the Telecommunications Section for approval prior to issuance of a permit.

Case Number: R15036

CASE COMMENTS:

Please provide a response to the following:

1. The root barrier may be specified along the sidewalk facing the street or to wrap utilities. Root barrier is not to line the planter areas.
2. Structural soil is required under surfaces adjoining planting areas to accommodate root growth without lifting surfaces. This should be installed from the planting area to the building frontage.
3. The City has adopted Florida Friendly Landscaping requirements into our ULDR Section 47-21. This includes limited sod areas, native plant requirements, hydrozone planting requirements, street tree requirements, irrigation limitations, etc. Please see MuniCode for updated ordinance
https://www.municode.com/library/fl/fort_lauderdale/codes/unified_land_development_code?nodeId=UNLADERE_CH47UNLADERE_ARTIIDERE_S47-21LATRPRE
4. Provide a site plan or site survey illustrating existing trees/palms, and number each one. Provide a corresponding list of these trees/palms including:
 - a. tree number for each
 - b. botanical name and common name for each
 - c. trunk diameter, in inches, at chest height for trees
 - d. clear trunk in feet for palms
 - e. condition percentage as a number for each
 - f. status (remove, relocate, remain) for each
 - g. mitigation calculations
5. It is highly unusual that every tree on site are the same exact condition percentage. Please provide ISA Certified Arborist Report illustrating the above listed information for each existing tree on site.

GENERAL COMMENTS:

The following comments are for informational purposes for consideration prior to submittal for Building Permit:

6. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
7. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
8. Provide separate Plumbing sub permit application for irrigation.
9. Provide irrigation plans in accordance with ULDR 47-21.6.A.11 for proposed irrigation.

Case Number: R15039

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) Coordinate streetscape design and public realm improvements with staff to address traffic circulation affecting the County's Main Jail and Courthouse Complex and to include the Wave streetcar improvements along 6th Avenue.
- 4) Provide the following information on the site plan:
 - a. Dimensions on the site plan indicating: building length, distance between building and property lines, distance between different elements proposed in the public realm: trees, planters, seating areas, etc.
 - b. All utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from FP&L indicating such.
- 5) Pursuant to Section 47-22.4.C.8, provide a master sign plan detailing the following:
 - a. Location and orientation of all proposed signage;
 - b. Dimensions of each proposed sign (height, width, depth, etc.);
 - c. Proposed sign copy; and,
 - d. Proposed color and materials.

Please note any proposed signs will require a separate permit application.

- 6) Consider improving the ground floor of the North façade facing the parking lot by adding additional design elements, color or articulation. As an alternative, consider installing a green wall similar to the one currently proposed along the west building façade.
- 7) Provide shading devices along the West facade facing SE 1st Avenue. Consider the use of wood slat louvers, similar to the East façade.
- 8) Consider a green/active roof as part of the site plan. Green roofs help to conserve energy, improve air quality and may provide an additional amenity space.
- 9) Provide roof plan for the proposed building indicating the location of all mechanical equipment. This plan shall include spot elevations of the parapet wall and roof as well as mechanical to illustrate how equipment will be screened or shielded from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
- 10) Indicate the property line and extend values on photometric plans to all property lines. Show values as pursuant to section 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide detail with dimensions. Also, per Section 47-20.14, lighting fixtures greater than ten (10) feet in height shall be located a minimum of fifteen (15) feet away from shade trees.

GENERAL COMMENTS:

- 11) Consider employing green building practices throughout the project including, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.
- 12) It is strongly recommended that bicycle parking is provided in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered. For more information, please send email to kmendrala@fortlauderdale.gov for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.
- 13) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 14) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule a Professional Day Appointment with the project planner (call 954-828-5072) to review project revisions and/or to obtain a signature routing stamp.
- 15) For additional information regarding incorporation of wireless capabilities into the project in initial planning stages, please contact the applicable utility provider.
- 16) Additional comments may be forthcoming at the DRC meeting. Please provide a written response to all DRC comments within 180 days.

Case Number: R15039

CASE COMMENTS:

Please provide a response to the following:

1. Retail Units should be pre-wire for an alarm system.
2. All exterior glazing should be impact resistant.(**NOTED**)
3. Exterior entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt system for security.
4. Service corridor doors should be equipped with a 180 degree viewport or peephole for security.
5. All ground level exterior doors should be egress only or access controlled.(**NOTED**)
6. The site should be equipped with a quality CCTV system with special focus on parking areas, loading dock, main lobby and each elevator lobby area.
7. All electrical, mechanical and special purpose room doors should be access controlled.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15039

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4. Please add bollards to protect the inside of the walls.
11. **Draw equipment on plan** to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
12. *There are no recycling containers for this project. Please add recycling containers, compactor or dumpster and draw equipment on the site plan.*
13. Trash Room services will be handled by private collector, or Trash Room services will be done by on-site personnel, or Trash Room services will be done custodial staff.
14. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
15. **If applicable**, provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
16. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
 - o Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and

- Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
 - For this proposed site plan, please describe whether the accessibly gate that is garage-type (i.e. roll-up) or swing-type (i.e. open/close) gate.
- o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Case Number: R15039

CASE COMMENTS:

1. Submit a traffic impact statement and coordinate with the Transportation and Mobility Department regarding a traffic impact study. Take into consideration that the review of this study, once submitted (if needed), will take about 4-6 weeks.
2. Coordinate with Transportation and Mobility regarding the closure of SE 6th St. to vehicular traffic.
3. Please provide a proposed vehicular and pedestrian circulation diagram to show ingress and egress of the site.
4. Coordinate with Transportation and Mobility Department to make sure proposed sidewalk materials are consistent with the city's adjacent SE 6th Street pedestrian and transit promenade project.
5. Ensure all curb cuts are aligned with existing crosswalks and are shown on site plans.
6. Please provide analysis of the turning radius on SE 1st Ave/SE 6th St. Ensure that all large vehicles can safely make the turn.
7. Please provide a list of anticipated vehicles for delivery and services (i.e. 18 wheelers, box trucks, etc.).
8. Ensure that all sidewalk ramps are completely ADA compliant with correct slopes and truncated domes.
9. Ensure all sidewalks on Andrews Ave and SE 6th Street are a minimum of 10ft wide and those on SE 1st Ave are a minimum of 7ft wide; with no obstructions, seamlessly connects to adjacent sidewalks, and are ADA compliant throughout the site.
10. Consider providing an ADA recommended detectable warning device to separate the walking zone on the sidewalk from furniture and planting zones.
11. Provide both long term and short term bicycle parking and bike pumps. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide minimum bicycle parking based on requirements in the guide and include on the site plan data sheet.
12. Additional comments may be provided upon further review.
13. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.

